

# Proposed Community Facility Development

Lot 2 DP 20827  
73 Auburn Road, Birrong NSW 2143  
DA (City of Canterbury Bankstown Council)  
October, 2022  
Project Number 22007  
Mrah El-Siraj Assosiation



## Development Application

### Drawing List

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0 2 4 6 8m  
1:200

NOT FOR CONSTRUCTION

### Wall Construction Types - General Notes

\*Internal Walls: 90mm Timber Frame Construction  
\*External Walls: Ground Floor - 250mm Brick Veneer Construction  
\*External Walls: First Floor - N/A  
\*DP: 90mm Downpipe  
\*Smoke Alarm  
All dimensions shown are indicative only. Builder to check prior to commencement of work. Adjust if necessary use written dimensions only do not scale off this drawing.

Refer to BASIX Certificate - For all BASIX Commitments

### Site Calculations

Site Area	= 551.8m <sup>2</sup>
Land Zoning	= R2
F.S.R	= 0.5:1
FSR Allowable Area	= 275.9m <sup>2</sup>
Proposed Ground Floor Area	= 253m <sup>2</sup>
Proposed Porch Area	= 7m <sup>2</sup>
Proposed Outdoor Area	= 31.5m <sup>2</sup>
Total Proposed Floor Area	= 253m <sup>2</sup>
Site Coverage	= 291.5m <sup>2</sup> = 53%
Proposed Landscape Area	= 33m <sup>2</sup>
Inform Building Line	= 66m <sup>2</sup>
Behind Building Line	= 99m <sup>2</sup>
Total Landscape Area	= 17.9%
Proposed Hardscaped Area	= 86m <sup>2</sup>

### Legend

	Site Boundary
	Existing Walls
	New proposed Walls
	Demolition
	New Works
	Proposed windows
CT	Ceramic Tiles
DP	Downpipes
FW	Floor Waste
EX	Existing
FTC	Face Timber Cladding

RT	Roof Tiles
FG	Fixed Glazing
GL	Glass
GU	Gutter
MR	Metal Roof
LW	Louvre Window
SK	Skylight
TD	Timber Decking
TP	Timber Post
HWU	Hot Water Unit
EB	Electrical Board

01  
DA1.03

## Site Analysis / Landscape Plan

Scale 1:200 @A3

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BUILDING DESIGNER

Nominated Designer Mustapha A. Malas BDAA Rego No: 6561

Rev.	Date	Revision	By	Chk.
A	10.11.2022	For Consultants	MM	MM

Rev.	Date	Revision	By	Chk.

Rev.	Date	Revision	By	Chk.

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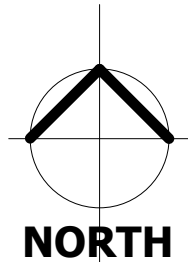
Project Address	73 Auburn Road, Birrongo NSW 2143
Drawing Name	Proposed Site Plan

Date	10.11.2022	Scale	as shown	Sheet Size	@ A3
Reg No.	DEP0000725	Drawn	M.M	Chk.	M.M
Job No.	22007	Drawing No.	DA1.03	Revision	A

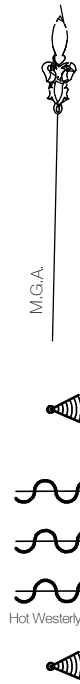
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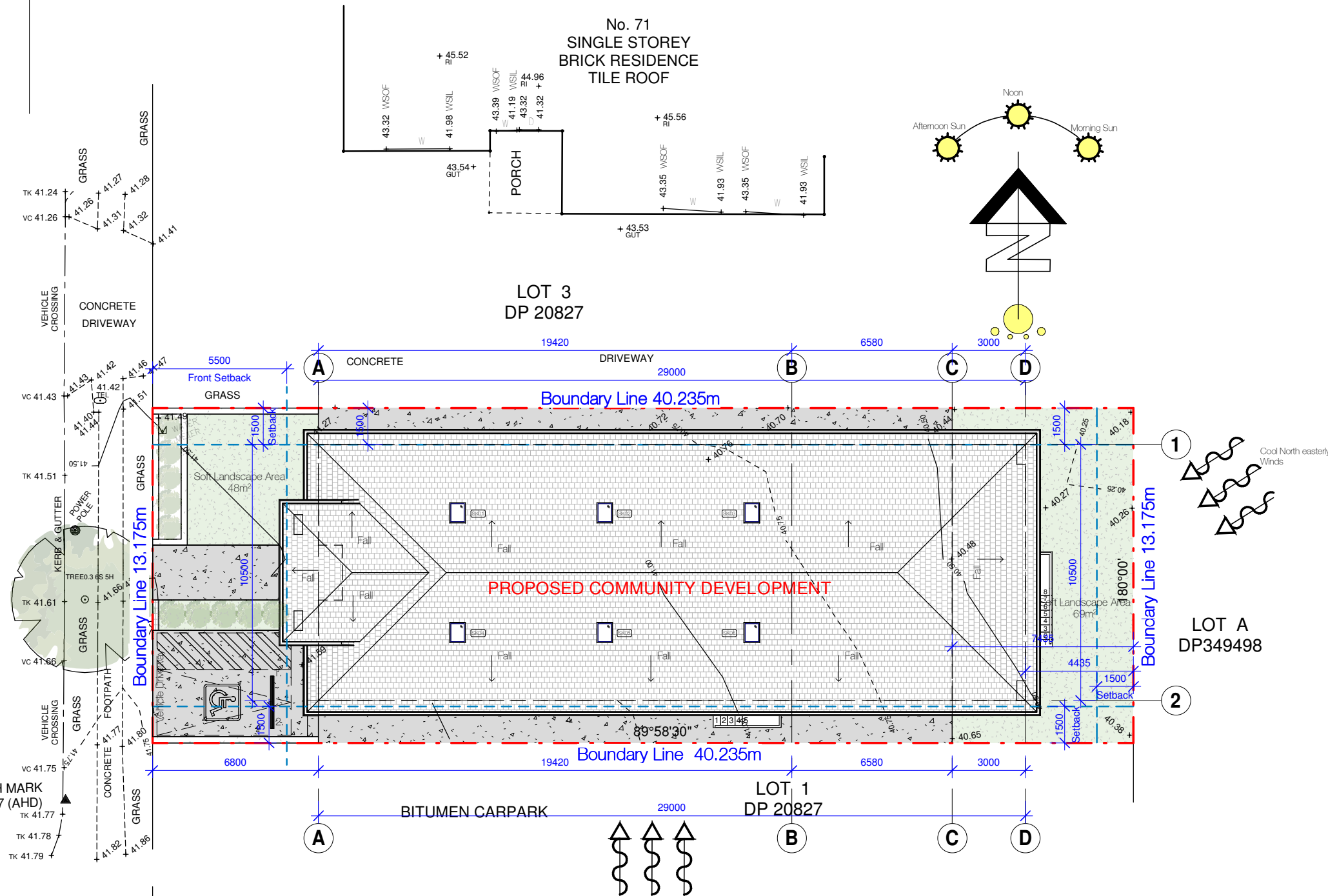


NORTH



ROAD

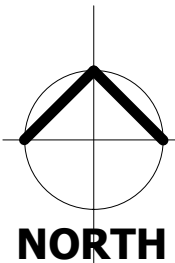
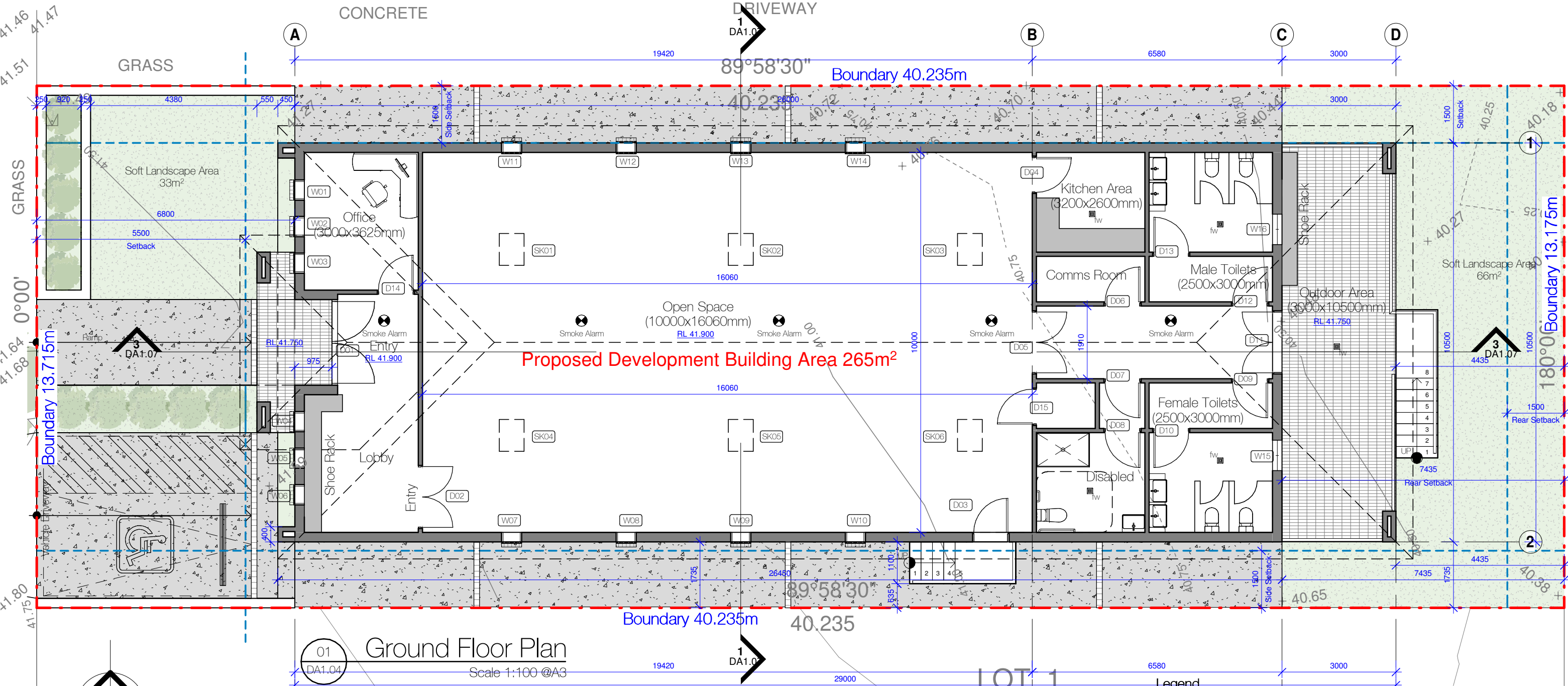
AUBURN





0 1 2 3 4m  
1:100

NOT FOR CONSTRUCTION



#### General Notes:

Stormwater drainage as per Hydraulic engineers plans & the BASIX report  
Sewer drainage & wastewater to Sydney water sewer main  
Sediment control barrier to council specifications during construction  
Survey levels & contours to Australian height datum or as indicated on survey plan + or -100mm  
Termite control chemical or physical barrier to be installed in accordance with as3660  
Verify all dimensions, levels & existing condition on site prior to commencement of work  
All work & materials to comply with the building code of Australia & relevant standards Australia codes  
Figured dimensions take preference to scale  
All dimensions in millimetres u.n.o.  
Driveway gradient to comply with council regulations  
Drop edge beams to engineers' details if required  
All structural beam sizes & details to Engineers specifications  
Any retaining wall required will be constructed as per Engineers details  
An all-weather access consisting of recycled concrete will be provided  
Permanent driveway to be reinforced concrete  
Any concrete paths to be reinforced concrete  
Surface drains will be incorporated in the landscaping to remove surface water from grassed & concrete areas  
Agricultural drains will be applied behind all retaining walls & will be connected into the stormwater line  
Survey data obtained from Sydney registered surveyors - Ensure Consulting  
Child proof screens must be fitted to first floor bedroom windows where the sill is less than 1.5m above floor level, or  
Window openings to be restricted to 125MM, in accordance with clause 3.9.2.5 of the NCC volume 2

#### Australian Standard Codes

AS 1288  
AS 1684.4  
AS 1728.1  
AS 2857  
AS 2878.1  
AS 3500  
AS 3600  
AS 3700  
AS 3786  
AS 4100

Glazing  
Timber Framing  
Timber Structures Code  
Termite Protection  
Residential Slabs & Footings  
National Plumbing & Drainage  
Concrete Structures  
Masonry in Buildings  
Smoke Alarms  
Steel Structures

#### Wall Construction Types - General Notes

\*Internal Walls: 90mm Timber Frame Construction  
\*External Walls: Ground Floor - 250mm Brick Veneer Construction  
\*External Walls: First Floor - N/A  
\*DP: 90mm Downpipe  
\*Smoke Alarm

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Refer to BASIX Certificate - For all BASIX Commitments

#### Legend

--- Site Boundary  
--- Existing Walls  
--- New proposed Walls  
--- Demolition  
--- New Works  
--- Proposed windows  
--- Ceramic Tiles  
--- Downpipes  
--- Floor Waste  
--- Existing  
--- Face Timber Cladding

CT Ceramic Tiles  
DP Downpipes  
FW Floor Waste  
EX Existing  
FTC Face Timber Cladding

RT Roof Tiles  
FG Fixed Glazing  
GL Glass  
GU Gutter  
LW Louvre Window  
MR Metal Roof  
SK Skylight  
TD Timber Decking  
TP Timber Post  
HWU Hot Water Unit  
EB Electrical Board

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Rev.	Date	Revision	By	Chk.

Rev.	Date	Revision	By	Chk.

Rev.	Date	Revision	By	Chk.

Project Address	73 Auburn Road, Birrong NSW 2143
Drawing Name	Ground Floor Plan

Date	10.11.2022	Scale	as shown	Sheet Size	@ A3
Rev. No.	DEP0000725	Drawn	M.M	Chk.	M.M
Job No.	22007	Drawing No.	DA1.04	Revision	A

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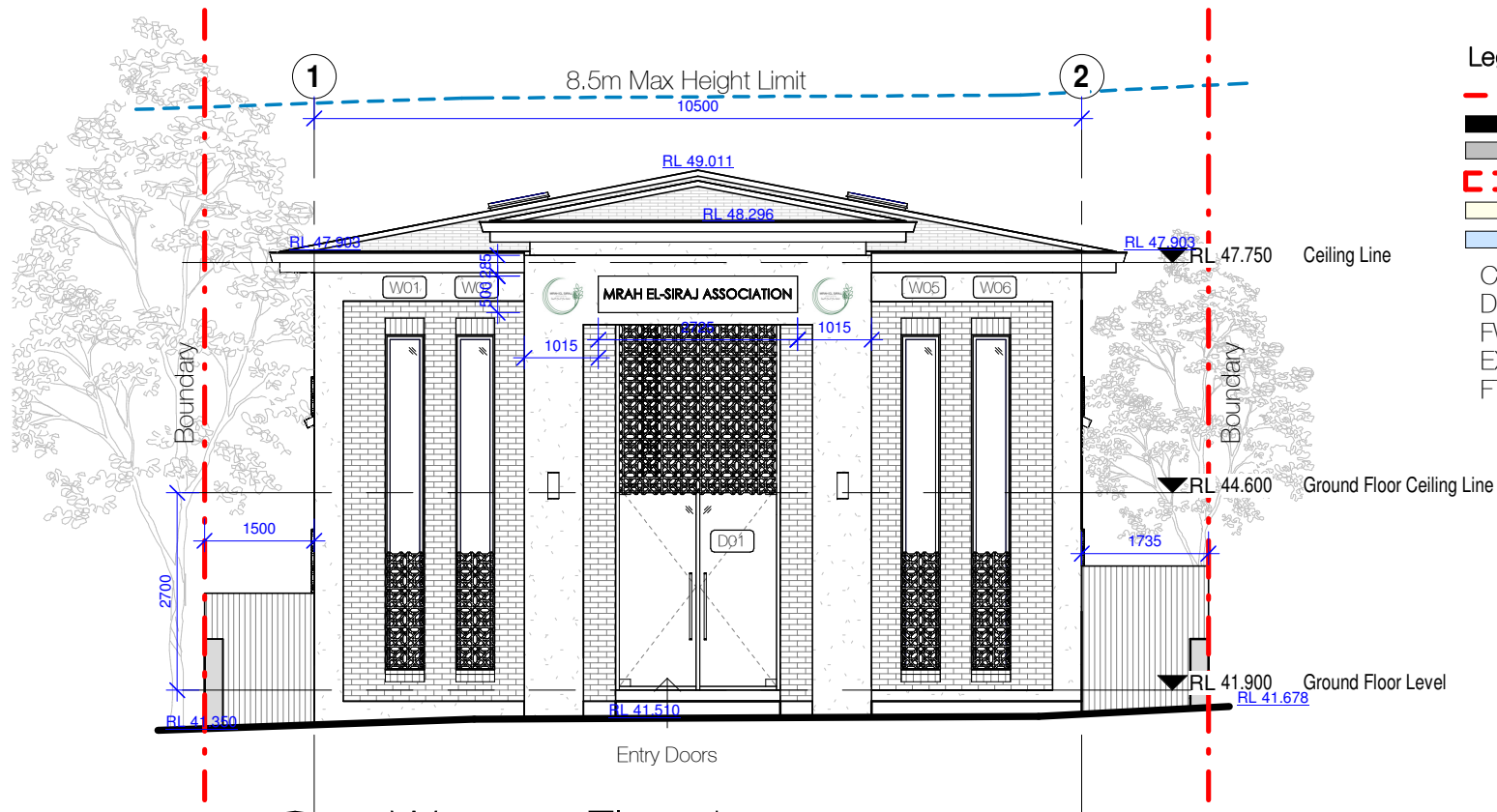
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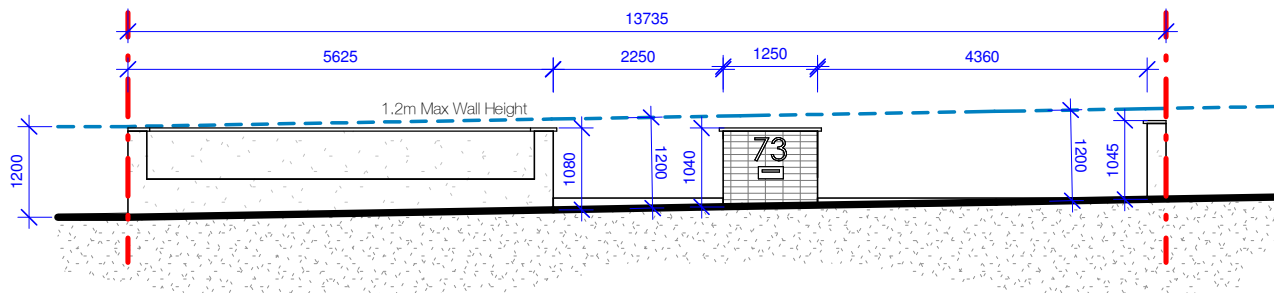


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1:100

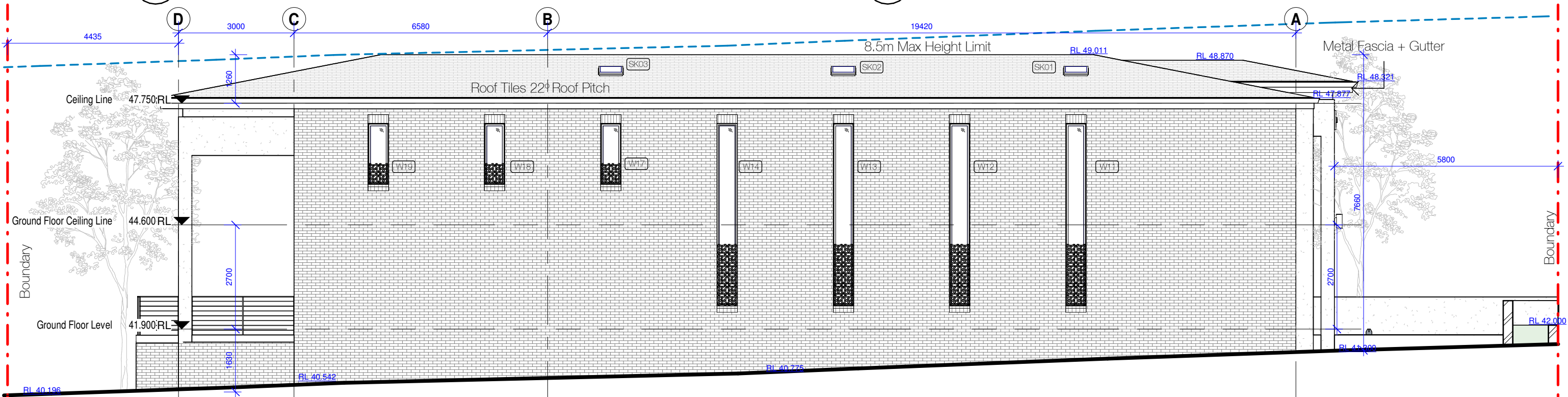
NOT FOR CONSTRUCTION



01 Western Elevation  
DA1.05  
Scale 1:100 @A3



03 Brick Fence Detail  
DA1.05  
Scale 1:100 @A3



02 Northern Elevation  
DA1.05  
Scale 1:100 @A3

Legend

- Site Boundary
- Existing Walls
- New proposed Walls
- Demolition
- New Works
- Proposed windows
- Ceramic Tiles
- Downpipes
- Floor Waste
- Existing
- Face Timber Cladding

- RT Roof Tiles
- FG Fixed Glazing
- GL Glass
- GU Gutter
- LW Louvre Window
- MR Metal Roof
- SK Skylight
- TD Timber Decking
- TP Timber Post
- HWU Hot Water Unit
- EB Electrical Board

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Project Address	73 Auburn Road, Birrong NSW 2143
Drawing Name	Elevations

Date	10.11.2022	Scale	as shown	Sheet Size	@ A3
Reg. No.	DEP0000725	Drawn	M.M	Chk.	M.M
Job No.	22007	Drawing No.	DA1.05	Revision	A

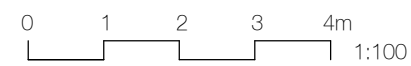
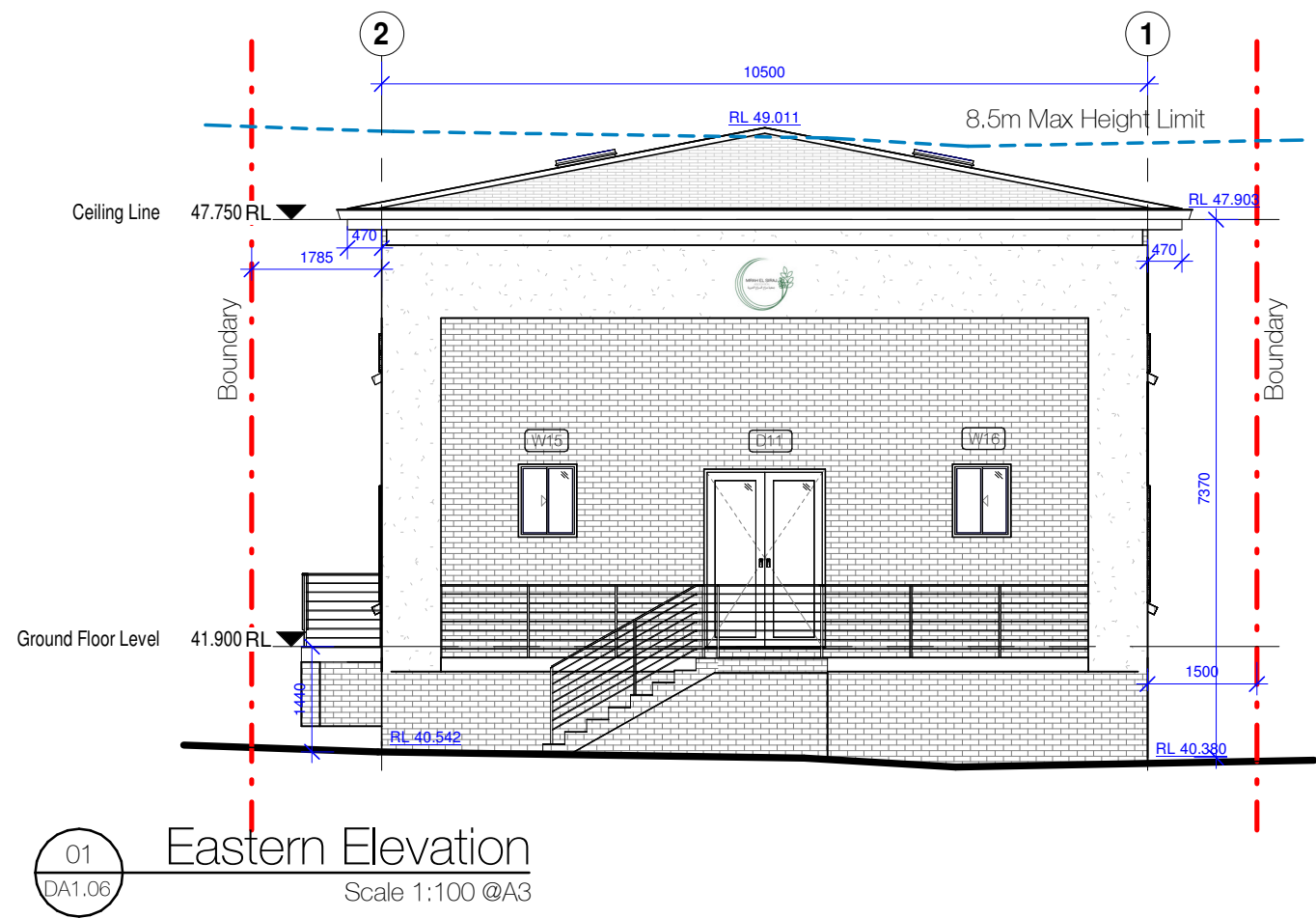
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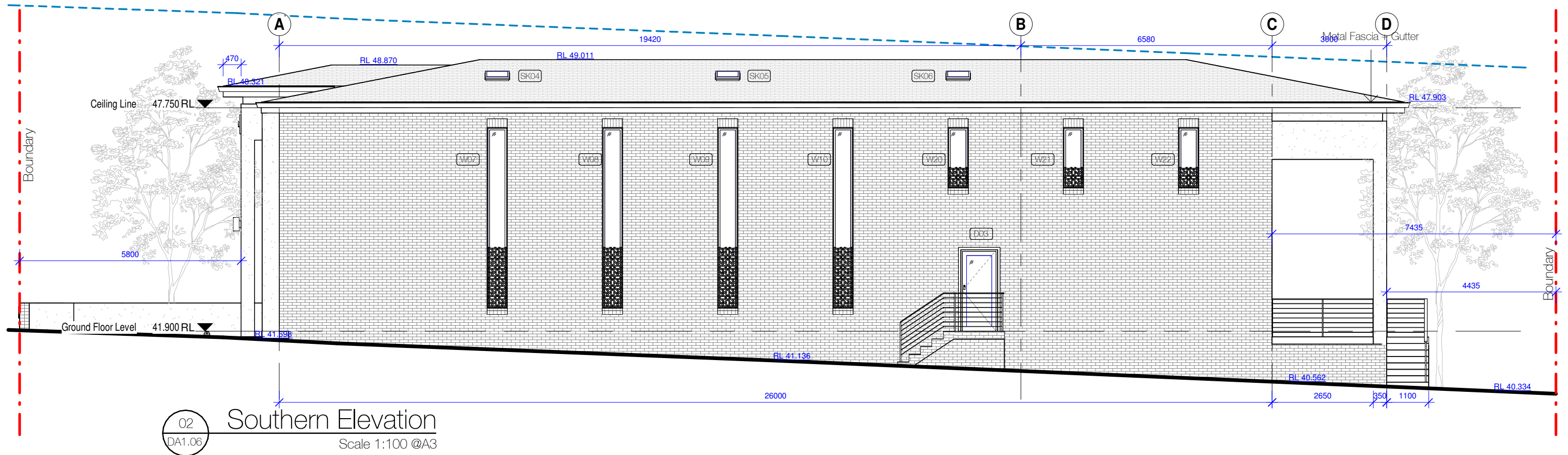
#### Legend

- |     |                      |     |                  |
|-----|----------------------|-----|------------------|
|     | Site Boundary        | RT  | Roof Tiles       |
|     | Existing Walls       | FG  | Fixed Glazing    |
|     | New proposed Walls   | GL  | Glass            |
|     | Demolition           | GU  | Gutter           |
|     | New Works            | LW  | Louvre Window    |
|     | Proposed windows     | MR  | Metal Roof       |
| CT  | Ceramic Tiles        | SK  | Skylight         |
| DP  | Downpipes            | TD  | Timber Decking   |
| FW  | Floor Waste          | TP  | Timber Post      |
| EX  | Existing             | HWU | Hot Water Unit   |
| FTC | Face Timber Cladding | EB  | Electrical Board |

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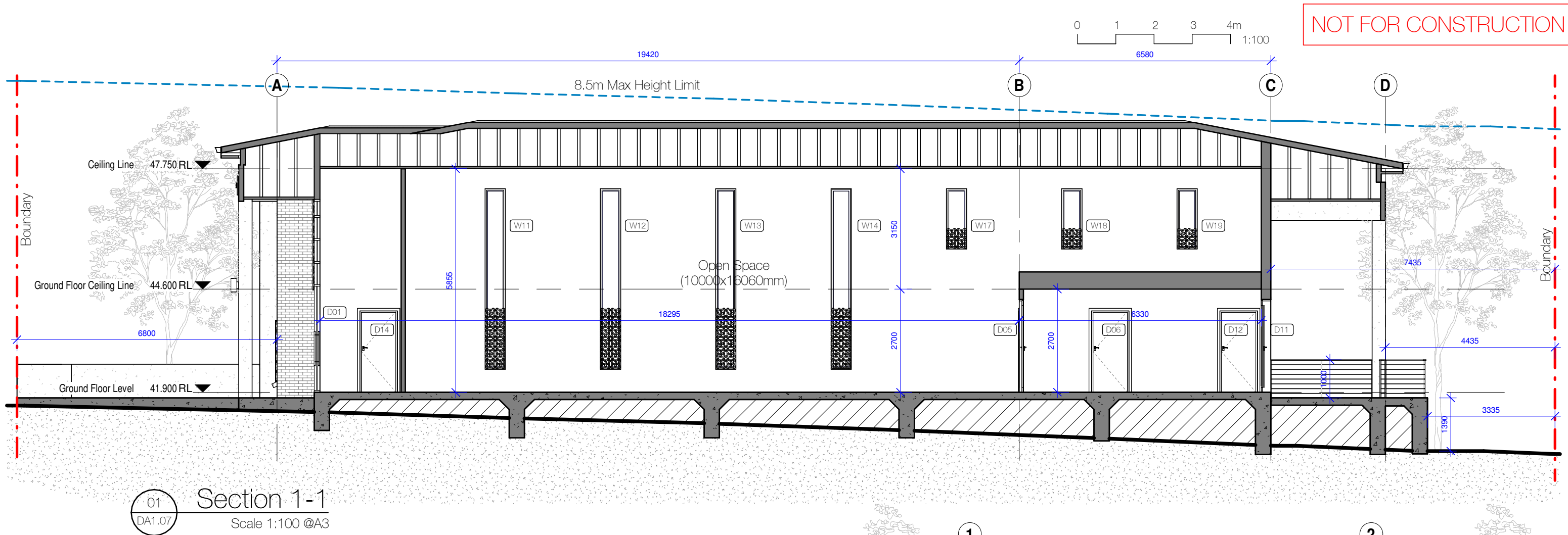
Rev.	Date	Revision	By	Chk.

Project Address  
73 Auburn Road,  
Birrong NSW 2143  
  
Drawing Name  
Elevations

Date	Scale	Sheet Size
10.11.2022	as shown	@ A3
Reg. No.	Drawn	Chk.
DEP0000725	M.M	M.M
Job No.	Drawing No.	Revision
22007	DA1.06	A

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General Notes:

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Australian Standard Codes

AS 1288 Glazing  
AS 1684.4 Timber Framing  
AS 1728.1 Timber Structures Code  
AS 2857 Termite Protection  
AS 2878.1 Residential Slabs & Footings  
AS 3500 National Plumbing & Drainage  
AS 3600 Concrete Structures  
AS 3700 Masonry in Buildings  
AS 3786 Smoke Alarms  
AS 4100 Steel Structures

Legend

Site Boundary  
Existing Walls  
New proposed Walls  
Demolition  
New Works  
Proposed windows  
Ceramic Tiles  
Downpipes  
Floor Waste  
Existing  
Face Timber Cladding

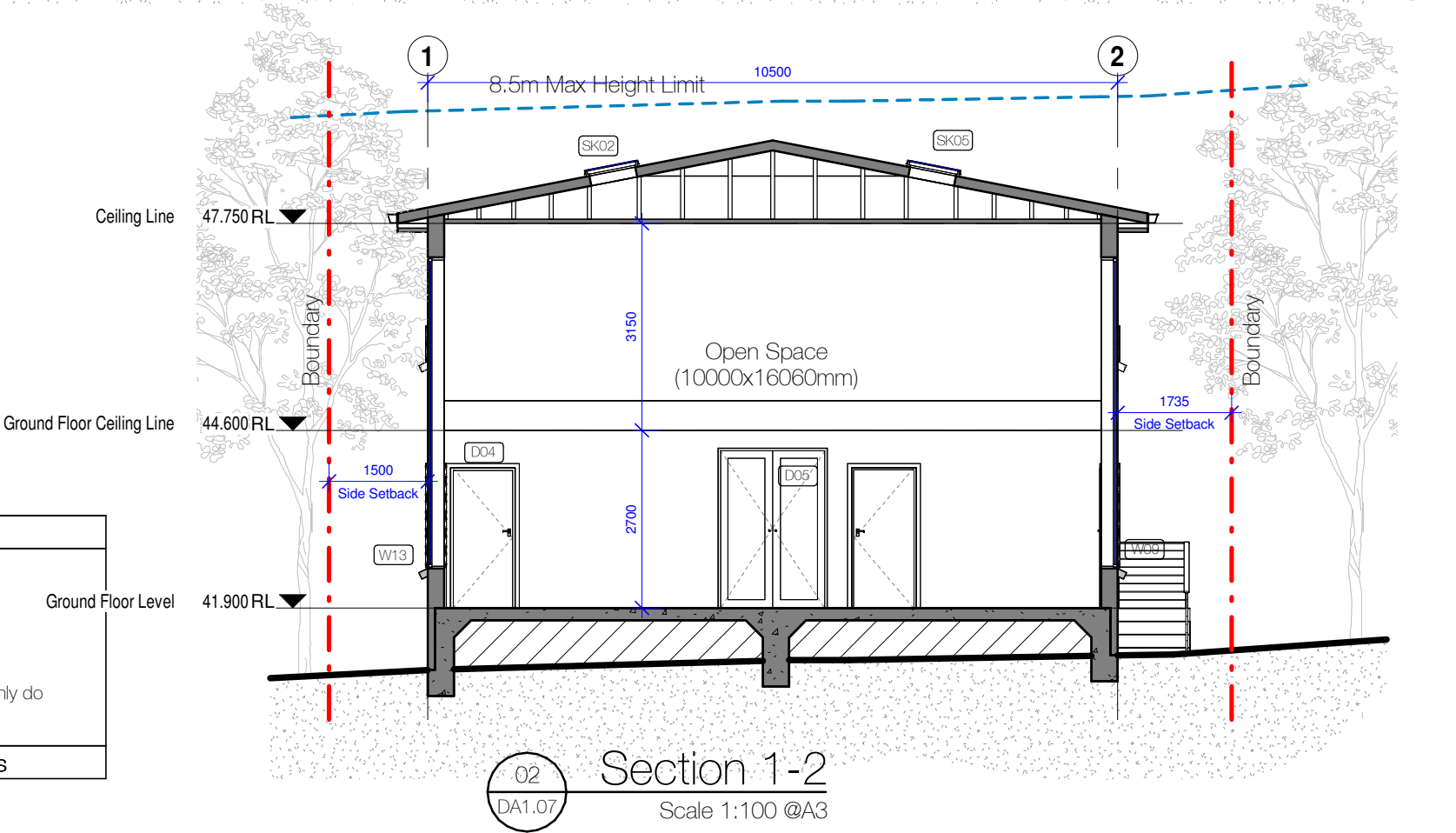
RT Roof Tiles  
FG Fixed Glazing  
GL Glass  
GU Gutter  
LW Louvre Window  
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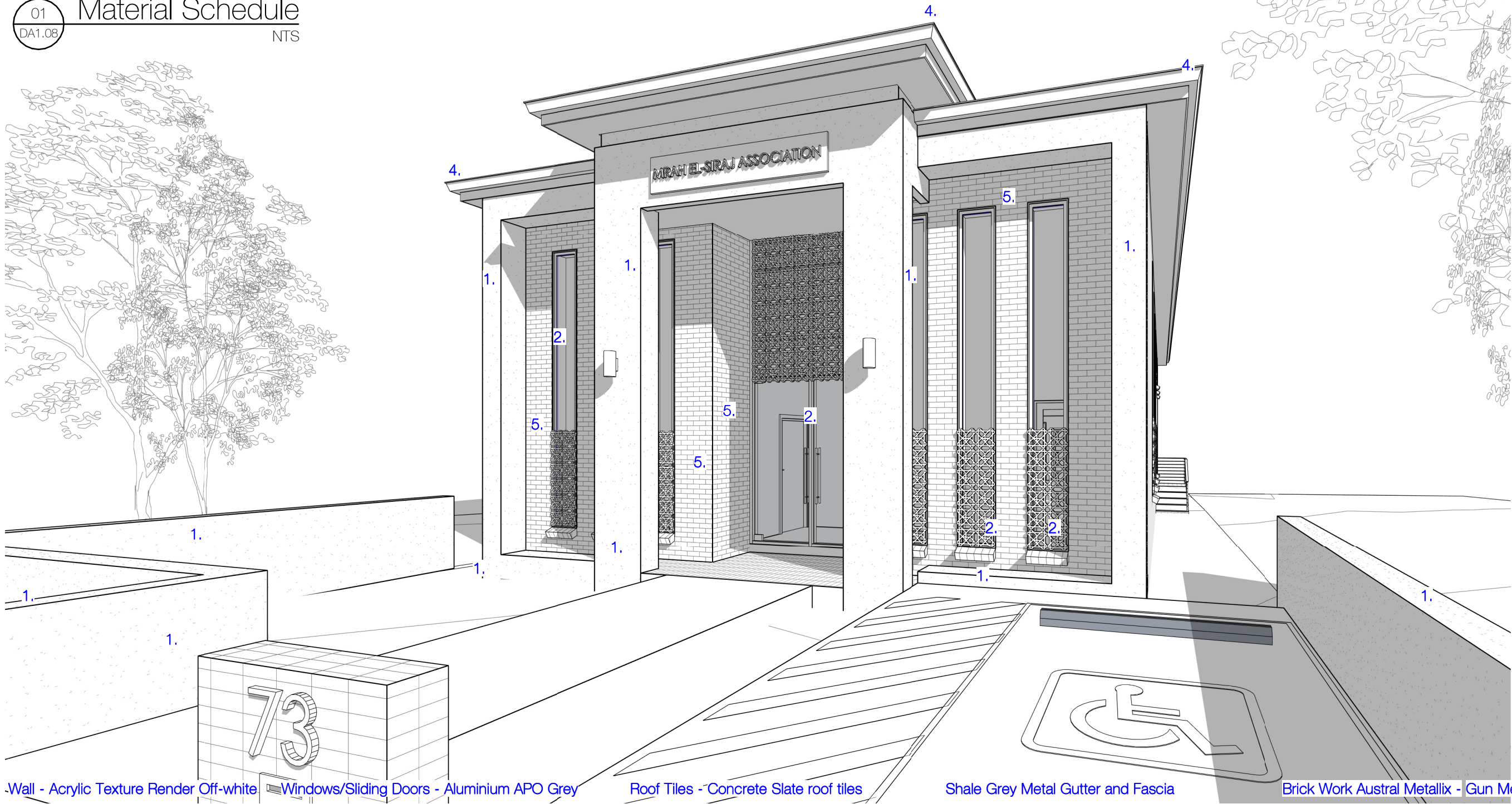
Project Address	73 Auburn Road, Birrong NSW 2143
Drawing Name	Sections

Date	10.11.2022	Scale	as shown	Sheet Size	@ A3
Reg No.	DEP0000725	Drawn	M.M	Chk.	M.M
Job No.	22007	Drawing No.	DA1.07	Revision	A

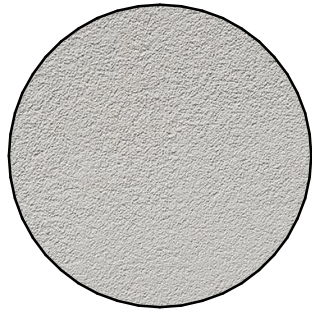
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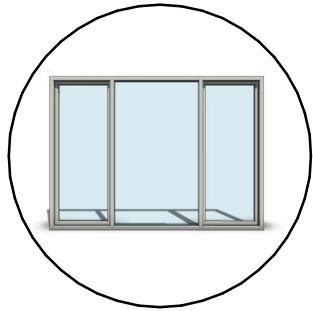




1. Wall - Acrylic Texture Render Off-white 2. Windows/Sliding Doors - Aluminium APO Grey 3. Roof Tiles - Concrete Slate roof tiles 4. Shale Grey Metal Gutter and Fascia 5. Brick Work Austral Metallix - Gun Metal Blue



1.



2.



3.



4.



5.

Rev.	Date	Revision	By	Chk.
A	10.11.2022	For Consultants	MM	MM

Rev.	Date	Revision	By	Chk.

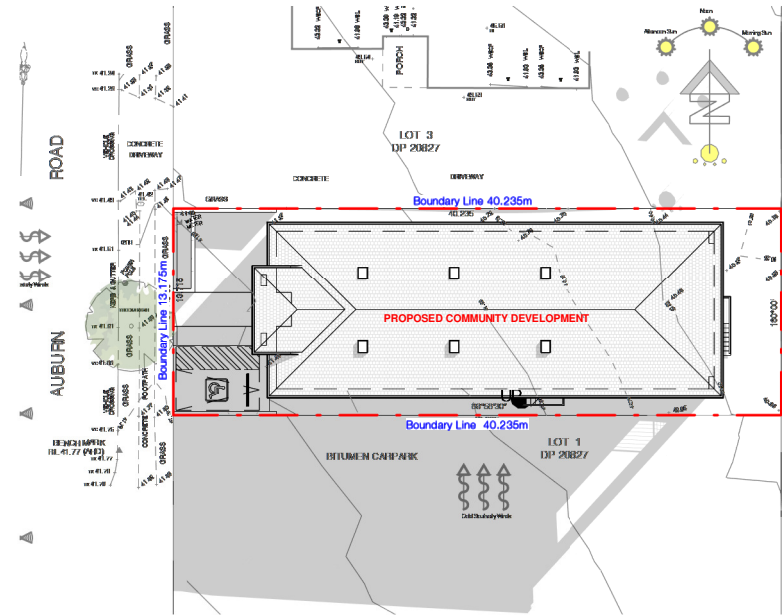
Rev.	Date	Revision	By	Chk.

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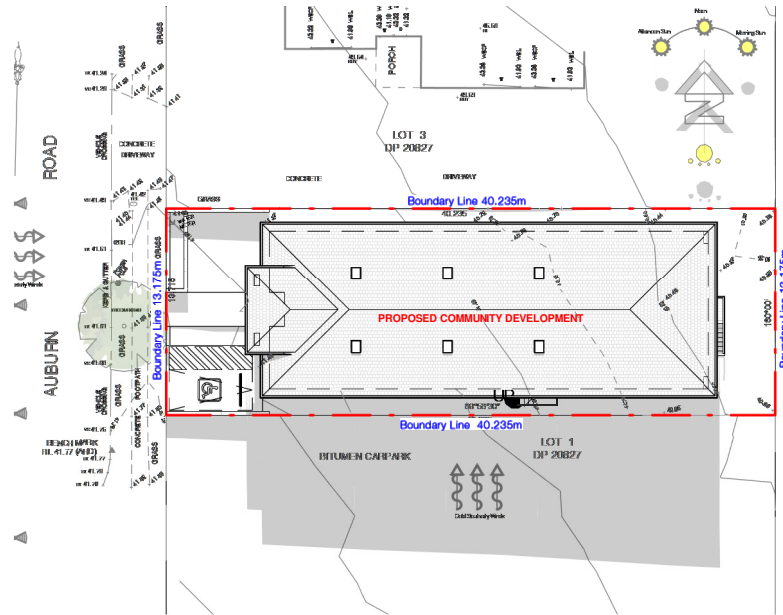
Project Address	73 Auburn Road, Birrong NSW 2143
Drawing Name	Material Schedule

Date	10.11.2022	Scale	as shown	Sheet Size	@ A3
Reg No.	DEP0000725	Drawn	M.M	Chk.	M.M
Job No.	22007	Drawing No.	DA1.08	Revision	A

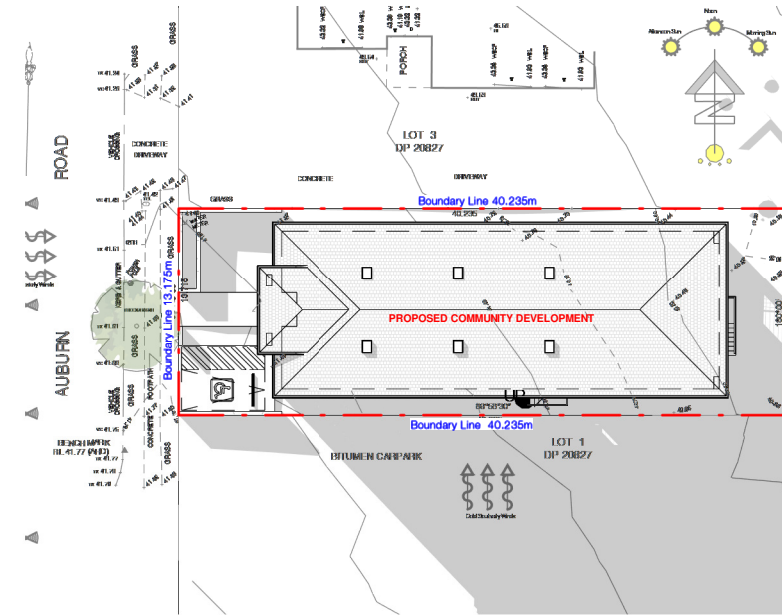




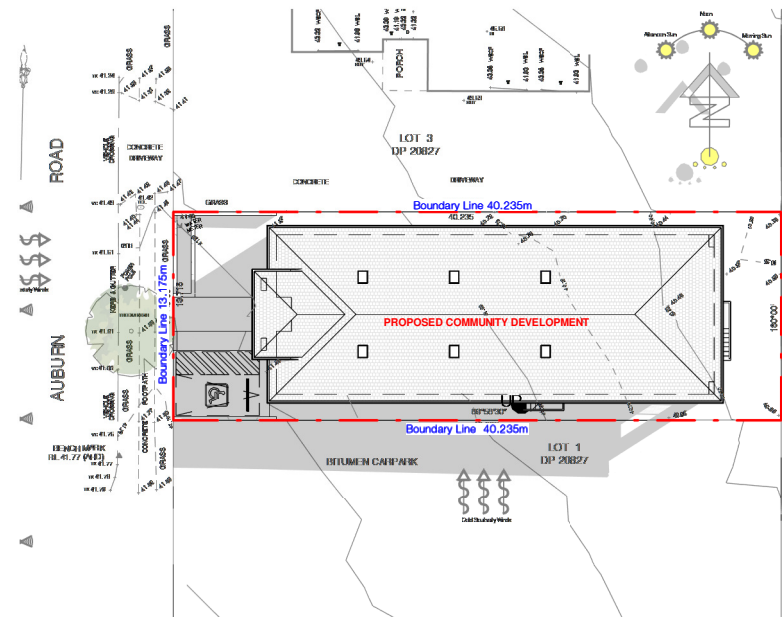
01 Winter Shadow - 9am  
DA1.09 Scale 1:500 @A3



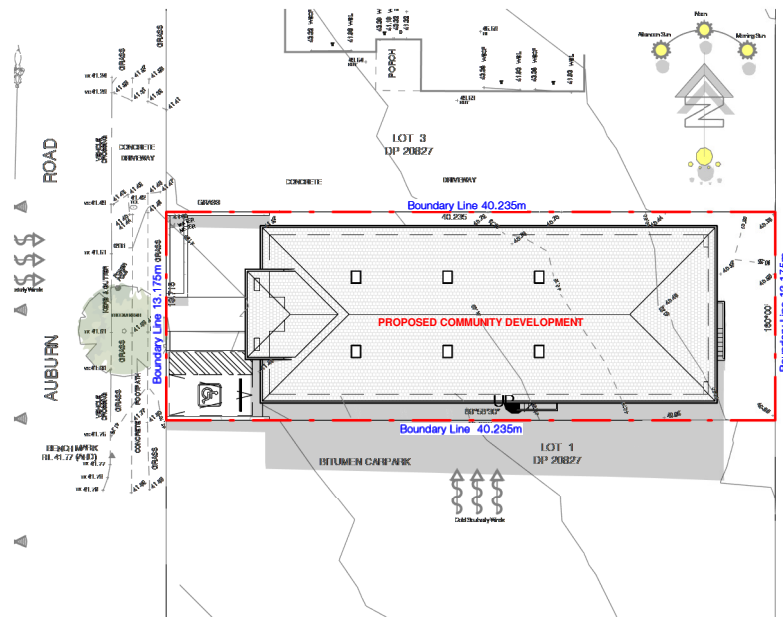
02 Winter Shadow - 12pm  
DA1.09 Scale 1:500 @A3



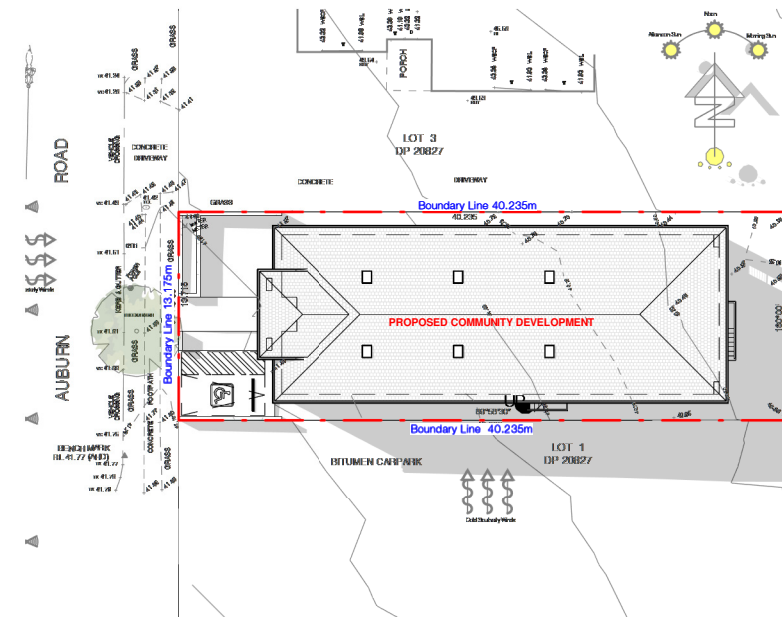
03 Winter Shadow - 3pm  
DA1.09 Scale 1:500 @A3



04 Equinox Shadow - 9am  
DA1.09 Scale 1:500 @A3



05 Equinox Shadow - 12pm  
DA1.09 Scale 1:500 @A3



06 Equinox Shadow - 3pm  
DA1.09 Scale 1:500 @A3

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Rev.	Date	Revision	By	Chk.

Project Address  
73 Auburn Road,  
Birrongo NSW 2143

Drawing Name

Shadow Diagrams

Date	Scale	Sheet Size
10.11.2022	as shown	@ A3
Reg. No.	Drawn	Chk.
DEP0000725	M.M	M.M
Job No.	Drawing No.	Revision
22007	DA1.09	A

**MAM PROJECTS (NSW)**  
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BASIX<sup>®</sup>Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 13528655

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. It is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Thursday, 10 November 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	22007 - 73 Auburn Road, Birrong NSW	
Street address	73 Auburn Road Birrong 2143	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 20827	
Lot no.	2	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	0	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by	
Name / Company Name:	MAM PROJECTS NSW PTY LTD
ABN (if applicable):	55643788989

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Description of project

Project address		Assessor details and thermal loads	
Project name	22007 - 73 Auburn Road, Birrong NSW	Assessor number	n/a
Street address	73 Auburn Road Birrong 2143	Certificate number	n/a
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 20827	Area adjusted cooling load (MJ/m <sup>2</sup> /year)	n/a
Lot no.	2	Area adjusted heating load (MJ/m <sup>2</sup> /year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
Project type	-	Ceiling fan in at least one living room or other conditioned area	n/a
Project type	separate dwelling house	Project score	
No. of bedrooms	0	Water	✓ 40 Target 40
Site details		Thermal Comfort	✓ Pass Target Pass
Site area (m <sup>2</sup> )	552	Energy	✓ 50 Target 50
Roof area (m <sup>2</sup> )	373		
Conditioned floor area (m <sup>2</sup> )	232.0		
Unconditioned floor area (m <sup>2</sup> )	26.0		
Total area of garden and lawn (m <sup>2</sup> )	99		

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Landscaping</b> The applicant must plant indigenous or low water use species of vegetation throughout 50 square metres of the site.	✓	✓	
<b>Fixtures</b> The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development. The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	✓
<b>Alternative water</b> Rainwater tank The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 300 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)	✓	✓	✓

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Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>General features</b> The dwelling must not have more than 2 storeys. The conditioned floor area of the dwelling must not exceed 300 square metres. The dwelling must not contain open mezzanine area exceeding 25 square metres. The dwelling must not contain third level habitable attic room.	✓	✓	✓
<b>Floor, walls and ceiling/roof</b> The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
<b>Construction</b>	Additional insulation required (R-Value)		Other specifications
floor - concrete slab on ground	nil		
external wall - cavity brick	0.50 (or 1.17 including construction)		
ceiling and roof - flat ceiling / pitched roof	ceiling: 2.95 (up), roof: foil backed blanket (75 mm)		unventilated; medium (solar absorptance 0.475-0.70)
<b>Note</b>	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
<b>Note</b>	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

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Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b> The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door. The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.  The following requirements must also be satisfied in relation to each window and glazed door:  • For the following glass and frame types, the certifier check can be performed by visual inspection.  - Aluminium single clear - Aluminium double (air) clear - TimberuPVC/fibreglass single clear - TimberuPVC/fibreglass double (air) clear	✓  		

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Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>East facing</b>					
W15	1000	800	aluminium, single, clear	verandah 3000 mm, 4650 mm above base of window or glazed door	not overshadowed
W16	1000	800	aluminium, single, clear	verandah 3000 mm, 4650 mm above base of window or glazed door	not overshadowed
<b>South facing</b>					
W07	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W08	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W09	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W10	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W20	1500	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W21	1500	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W22	1500	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
W01	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed
W02	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed
W03	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed
W04	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed
W05	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed

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Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W06	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b> The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous.	✓	✓	✓
<b>Cooling system</b> The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER > 4.0 The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER > 4.0 The cooling system must provide for daylight zoning between living areas and bedrooms.		✓	✓
<b>Heating system</b> The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER > 4.0 The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER > 4.0 The heating system must provide for daylight zoning between living areas and bedrooms.		✓	✓
<b>Ventilation</b> The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to facade or roof, Operation control: interlocked to light Kitchen: individual fan, not ducted, Operation control: interlocked to light Laundry: natural ventilation only, or no laundry, Operation control: n/a		✓	✓
<b>Artificial lighting</b> The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • the kitchen, dedicated		✓	✓

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets, dedicated • the laundry, dedicated • all hallways, dedicated		✓	✓
<b>Natural lighting</b> The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
<b>Alternative energy</b> The applicant must install a photovoltaic system with the capacity to generate at least 0.2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
<b>Other</b> The applicant must install a gas cooking & electric oven in the kitchen of the dwelling. The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions. The applicant must install a fixed outdoor clothes drying line as part of the development. The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	✓

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Legend
In these commitments, "applicant" means the person carrying out the development. Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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Wall Construction Types - General Notes

- \*Internal Walls: 90mm Timber Frame Construction
- \*External Walls: Ground Floor - 250mm Brick Veneer Construction
- \*External Walls: First Floor - N/A
- \*DP: 90mm Downpipe
- \*Smoke Alarm

All dimensions shown are indicative only. Builder to check prior to commencement of work. Adjust if necessary use written dimensions only do not scale off this drawing.

Refer to BASIX Certificate - For all BASIX Commitments

