Proposed Community Facility Development

Lot 2 DP 20827 73 Auburn Road, Birrong NSW 2143 DA (City of Canterbury Bankstown Council) October, 2022 Project Number 22007 Mrah El-Siraj Assosiation





Development Application

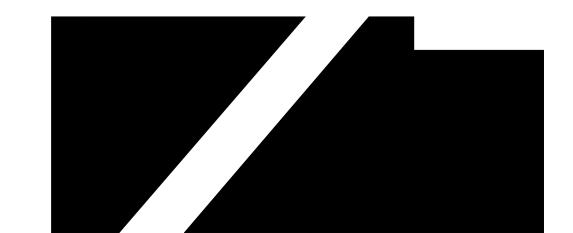
	Drawing List				
DA1.00	Cover Sheet	А	10.11.2022	NTS	АЗ
DA1.01	WHS Notes	А	10.11.2022	NTS	АЗ
DA1.02	Demolition Plan	А	10.11.2022	1:200	АЗ
DA1.03	Site Analysis - Landscape Plan	А	10.11.2022	1:200	АЗ
DA1.04	Proposed Ground Floor Plan	А	10.11.2022	1:100	АЗ
DA1.05	Proposed Elevations	А	10.11.2022	1:100	АЗ
DA1.06	Proposed Elevations	А	10.11.2022	1:100	АЗ
DA1.07	Proposed Section	А	10.11.2022	1:100	АЗ
DA1.08	Material Schedule	А	10.11.2022	NTS	АЗ
DA1.09	Shadow Diagrams	А	10.11.2022	1:500	АЗ
DA1.10	BASIX Commitments	А	10.11.2022	NTS	АЗ



MRAH ELSIRAJ ASSOCIATION







1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of onstruction work should be informed about the anchorage points

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen. FLOOR FINISHES By Owner

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access wavs and work areas

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

- Prevent or restrict access to areas below where the work is being carried out.
- Provide toeboards to scaffolding or work platforms.
- Provide protective structure below the work area.
- Ensure that all persons below the work area have Personal Protective Equipment (PPF).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site

4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing

Locations with overhead power lines:
Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting. device. Where this is not practical, suppliers or fabricators should be required to limit the component mass

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety quards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to: 1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding. drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required The manufacturer's recommendations for use must be carefully considered at all times

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known: This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken

10.OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies

keep one of these #9 notes, as appropriate

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS



DA PLANS ONLY

if appropriate,

residential

finishes?

leave this note,

but only for non-

have you considered

selection of surface

slippery surfaces in the





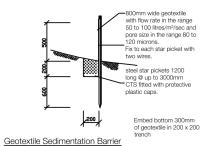
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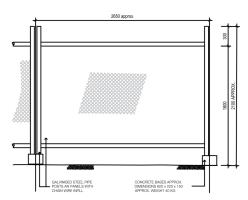
73 Auburn Road, Birrong NSW 2143

WHS Notes

10.11.2022 as shown @ A3 DEP0000725 M M M.M 22007 DA1.01

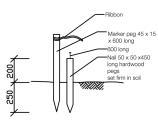
Building Material Stockpiles



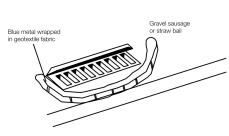


This type of fencing provides a high level of security. Three strands of barbed wire may be added to the top of the fence if additional security is

High Level Security - Temporary Fencing



Corner or Offset Pegs with Marker Pegs



Street Gutter Drain Protection

Erosion Control Notes:

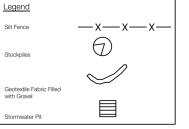
- All sediment and erosion control measures are to be installed prior to site disturbance and are to be inspected and maintained daily by the the site manager.
- tripping of grass and vegetation etc. from the site shall be kept to a minimum. opsoil from all areas that will be disturbed are to be stripped, stockpiled and are to e kept clear from all drains, gutters and footpaths. tormwater drainage is to be connected to the existing stormwater system as soon processible.

MPORTANT NOTE:

as possible.

Roads and footpath are to be swept daily.

All sediment control structures are to be inspected after each rainfall event for structural damage, and all trapped sediment is to be removed to a nominated soil



Demolition Notes

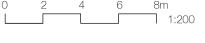
All demolition to be in accordance with the requirements of Workcover NSW and the following Australian standards issued as current at the time of the execution of work -AS2601 -the demolition of structures & AS2436 - guide to noise control on construction, maintenance and demolition sites.

Any asbestos removal to be additionally in accordance with - NOHSC 2002 code of practice for the safe removal of asbestos.

Unless otherwise detailed for reuse, all power, water, soil, waste, gas, telecommunications and stormwater services shall be disconnected, removed, sealed off and/or prepared for new works all in accordance with requirements of the relevant authority. This is to be inclusive but is not limited to all wiring, GPO, light fittings, taps, pipes, plant, ducts, etc.

Make good all areas where services are required to be removed in preparation for paint finish. Make good inclusive but not restricted to filling all cracks, holes and pitted areas etc as appropriate for the finished system. sand all made good surfaces smooth.

If demolition drawing & notes do not cover all demolition items, builder to allow to remove all works for intended demolition.



CT

DP

FW

NOT FOR CONSTRUCTION

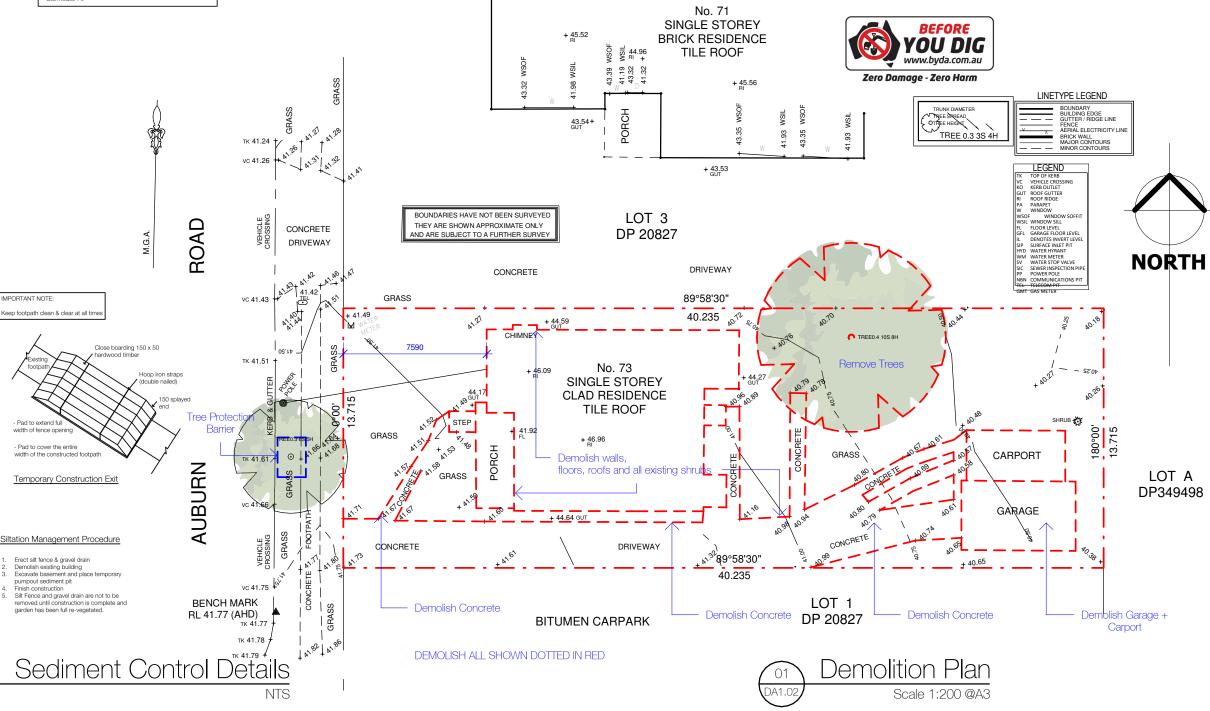
Legend _ . _ Site Boundary **Existing Walls** FG New proposed Walls GL Demolition GU

New Works Proposed windows LW Ceramic Tiles SK

Downpipes Floor Waste TP Existina

EX Face Timber Cladding FTC

Roof Tiles Fixed Glazing Glass Gutter MR Metal Roof Louvre Window Skylight TD Timber Decking Timber Post HWU Hot Water Unit EB Electrical Board



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73 Auburn Road, 10.11.2022 as shown Birrong NSW 2143 DFP0000725 M.M. Demolition Plan DA1.02 22007

MAM PROJECTS (NSW)

@ A3

M.M

BEFORE

YOU DIG

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Zero Damage - Zero Harm

Wall Construction Types - General Notes

Internal Walls: 90mm Timber Frame Construction

*External Walls: Ground Floor - 250mm Brick Veneer Construction

*External Walls: First Floor - N/A *DP: 90mm Downpipe

*Smoke Alarm

All dimensions shown are indicative only. Builder to check prior to commencemnet of work. Adjust if necessary use written dimensions only do

Refer to BASIX Certificate - For all BASIX Commitments

Site Calculations Site Area $=551.8m^2$ Land Zonina =R2= 0.5:1F.S.R $= 275.9 \text{m}^2$ FSR Allowable Area Proposed Ground Floor Area $= 253 \text{m}^2$ Proposed Porch Area $= 7m^2$ Propesed Outdoor Area $= 31.5 m^2$ $= 253m^2$ Total Proposed Floor Area Site Coverage $= 291.5 m^2$ = 53% Proposed Landscape Area Infornt Building Line $= 33m^2$ Behind Building Line $= 66m^2$ Total Landscape Area $= 99m^2$ = 17.9%Proposed Hardscaped Area $= 86m^2$

Legend

CT

DP

FW

EX

FTC

Existing Walls New proposed Walls Demolition New Works Proposed windows Ceramic Tiles Downpipes Floor Waste Existing Face Timber Cladding

Site Boundary

Roof Tiles FG Fixed Glazing GL Glass GU Gutter

MR Metal Roof LVV Louvre Window SK Skylight TD Timber Decking TP Timber Post

HWU Hot Water Unit EΒ Electrical Board

ROAD **W** \sim **₩ W** AUBURN BENCH MARK RL 41.77 (AHD)

NORTH

тк 41.24 †.

TK 41.51

CONCRETE

DRIVEWAY

1 41.42 | 1 41.42 |

GRASS

B

(skita)

Skoë)

LOT₁ 1

DP 20827

(**B**)

No. 71

SINGLE STOREY

BRICK RESIDENCE TILE ROOF

+ 43.53 GUT

DRIVEWAY

Boundary Line 40.235m

PROPOSED COMMUNITY DEVELOPMENT

⁴ 4 89°58'30" ⁴

Boundary Line 40.235m

+ 45.52

43.54+

Sk04

BITUMEN CARPARK

CONCRETE

(A)

43.39 × 41.19 × 43.32 × 41.32 · 41.32

PORCH

LOT 3

DP 20827

D

C

LOT A DP349498

Site Analysis / Landscape Plan

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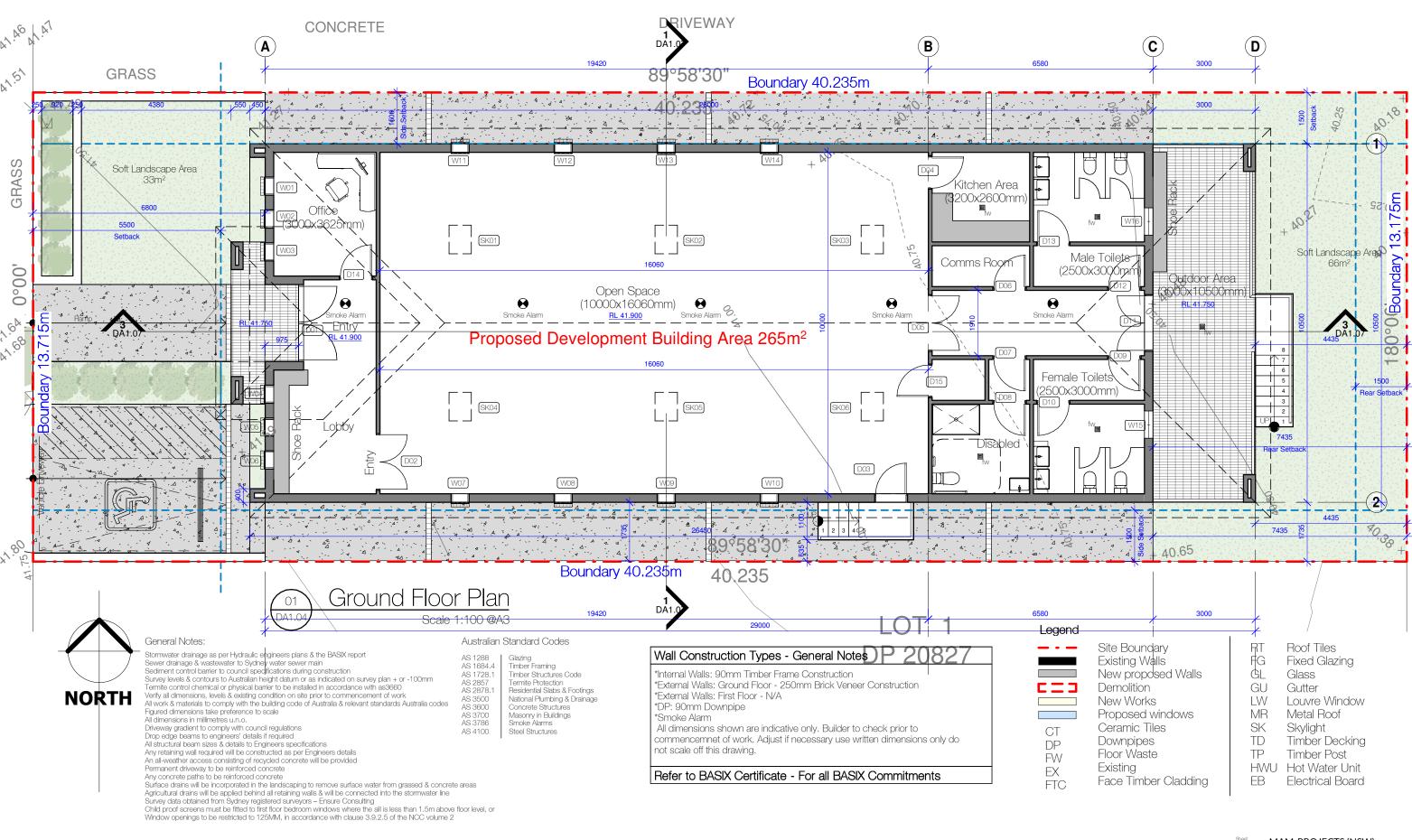
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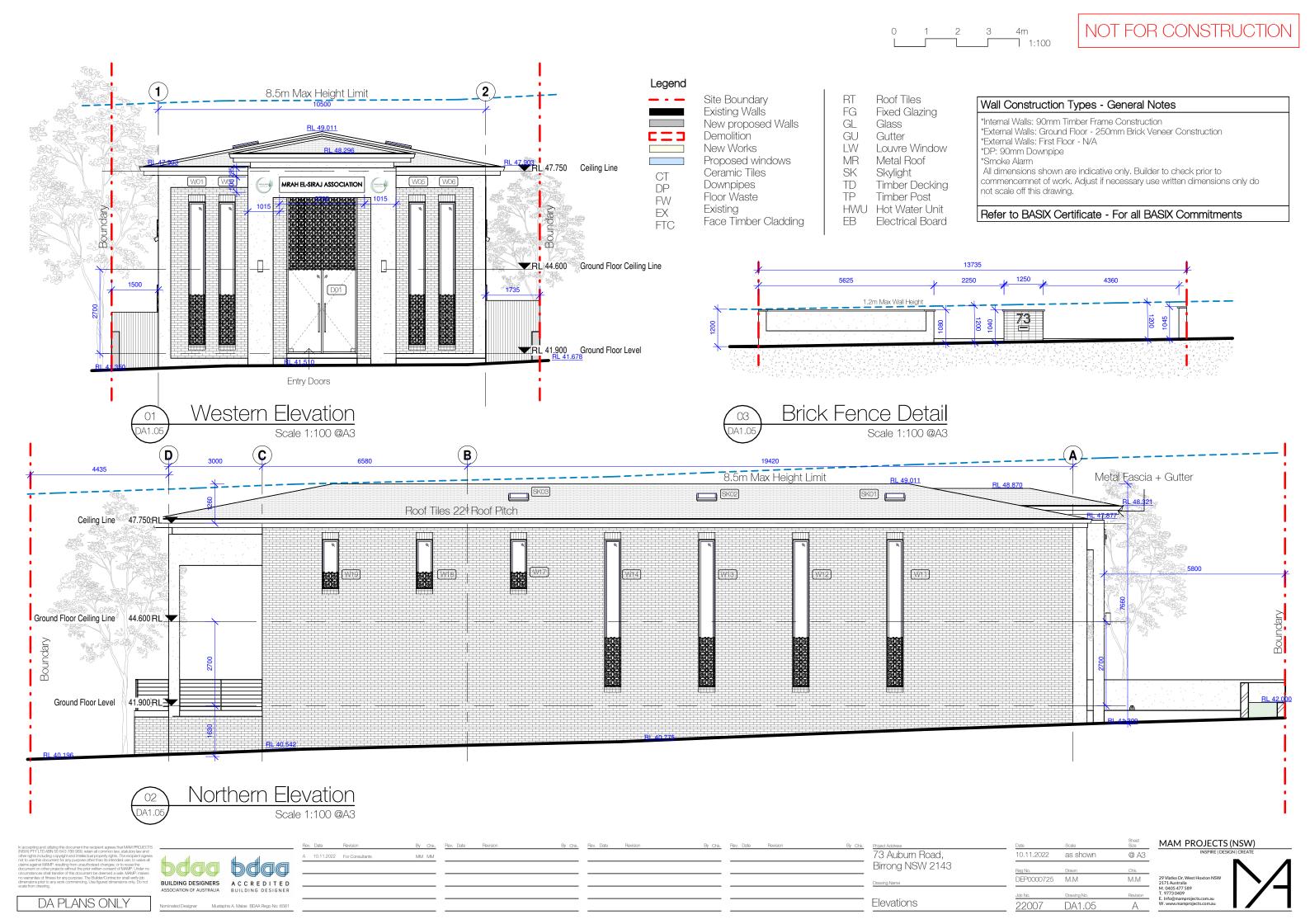
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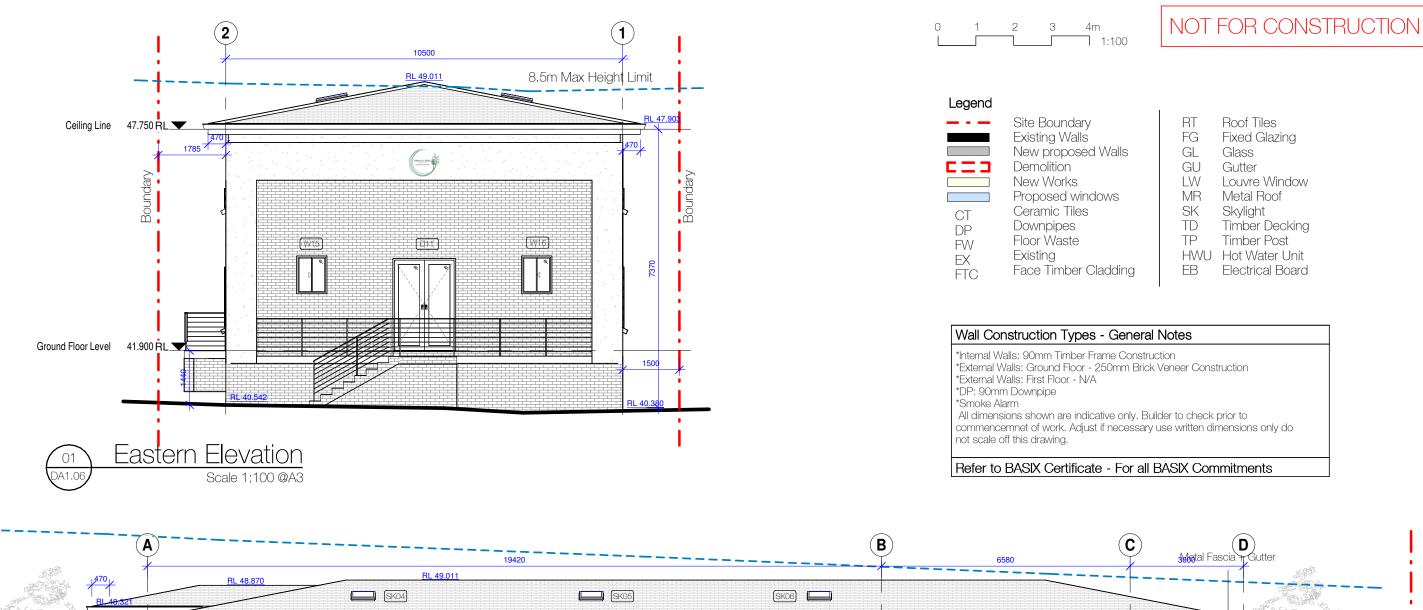
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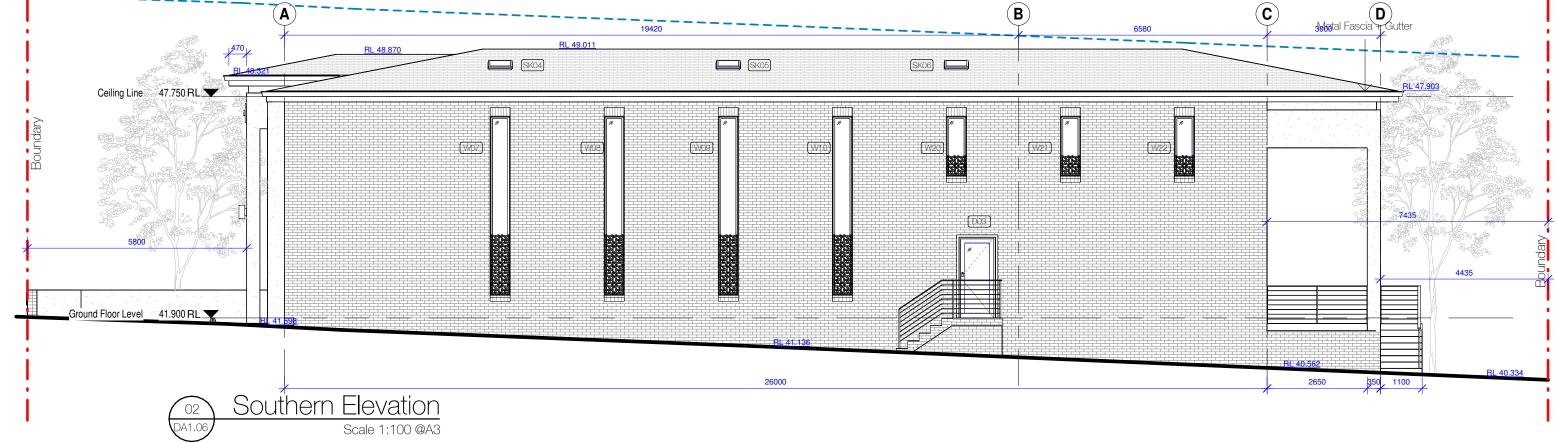
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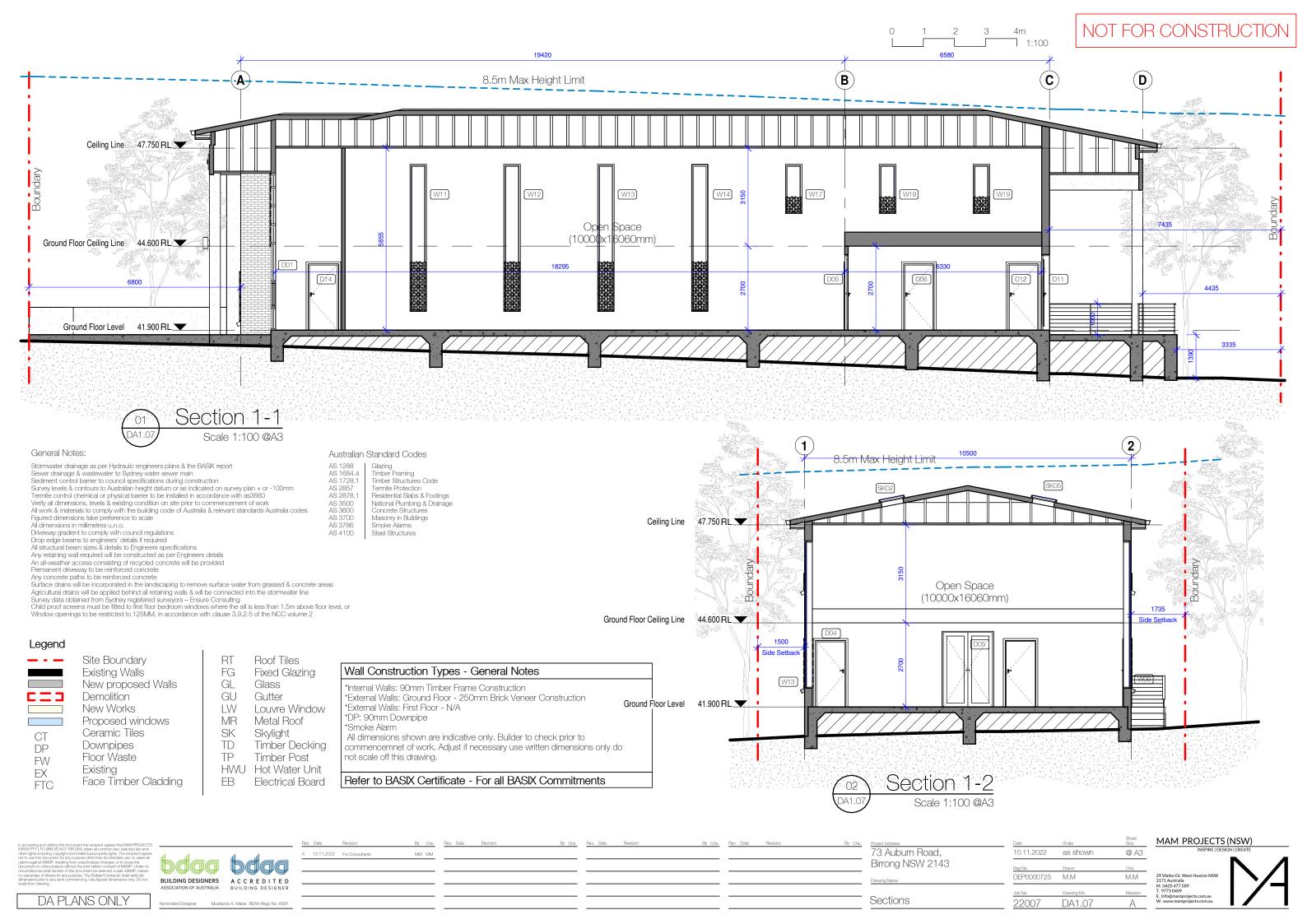
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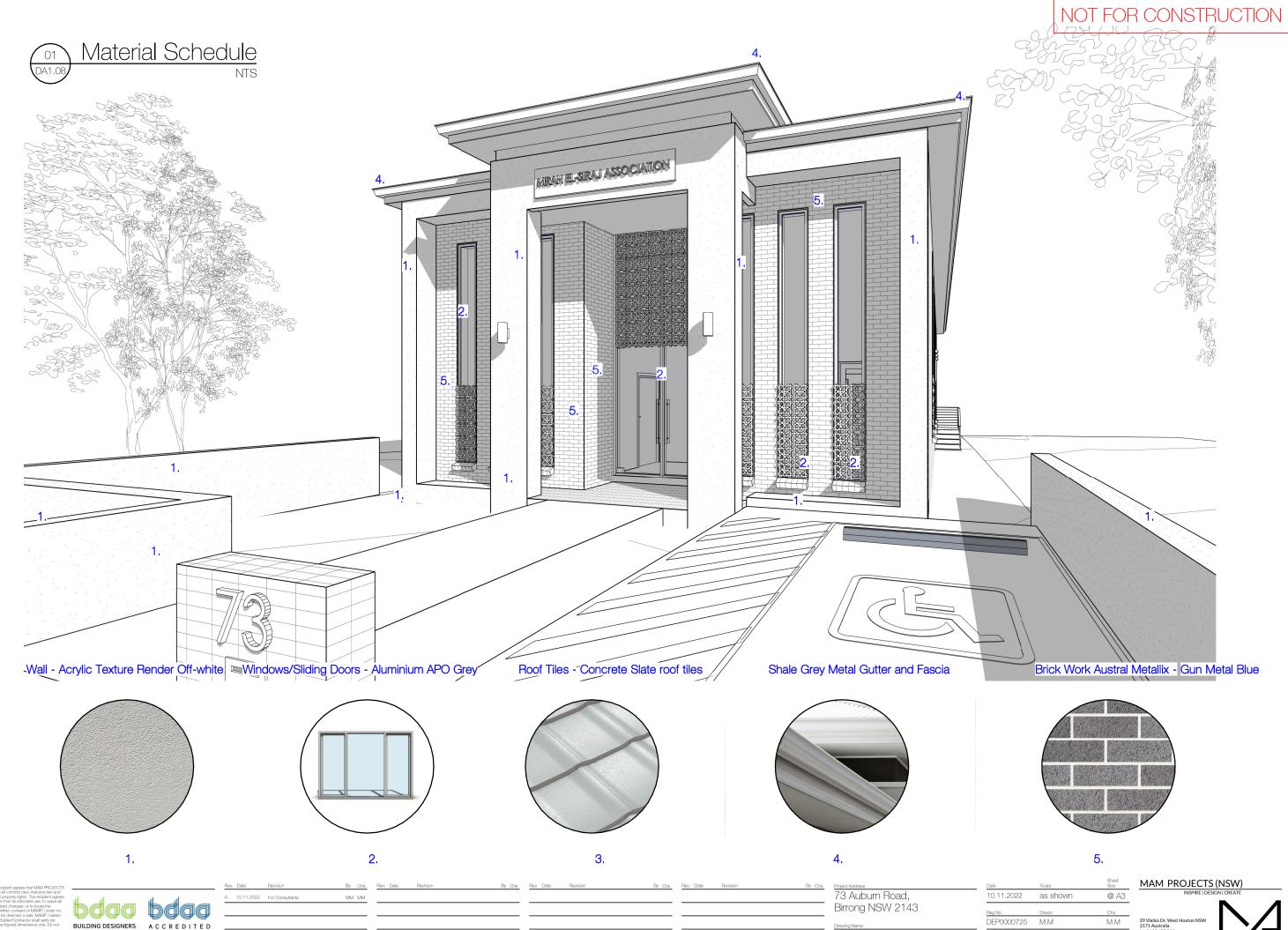


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BUILDING DESIGNERS A C C R E D I T E D
ASSOCIATION OF AUSTRALIA BUILDING DESIGNER

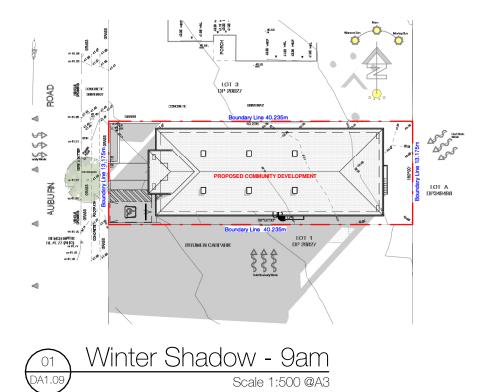
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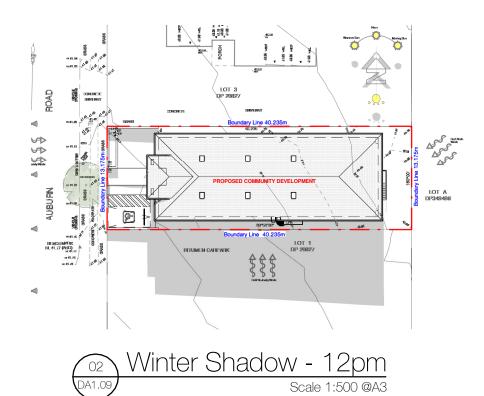
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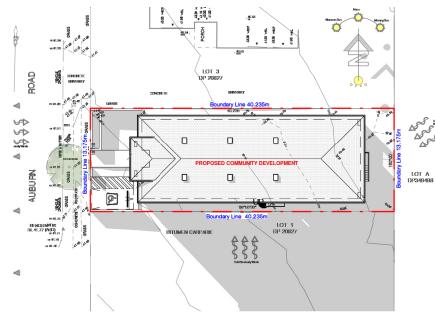
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Material Schedule

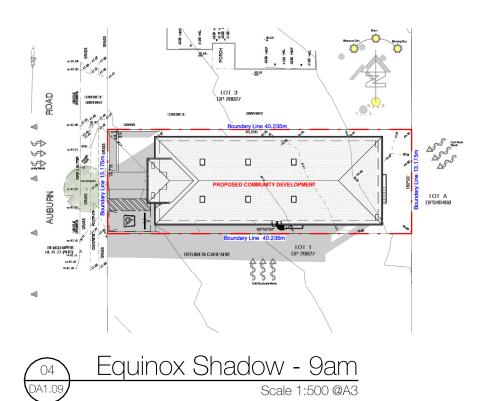
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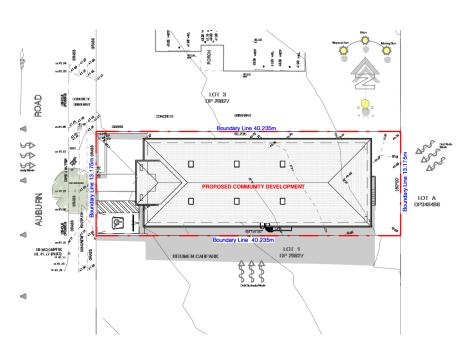


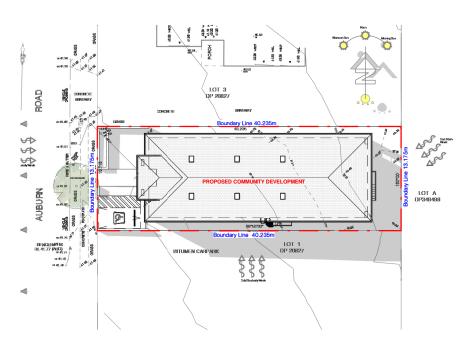












Equinox Shadow - 12pm Scale 1:500 @A3

Equinox Shadow - 3pm Scale 1:500 @A3

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	73 Auburn Road, Birrong NSW 2143
	Drawing Name
	Shadow Diagrams

Date	Scale	Sheet Size
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BASIX*Certificate

Single Dwelling



22007 - 73 Auburn	Road, Birrong NSW		
73 Auburn Road Bi	rrong 2143		
Canterbury-Banksto	Canterbury-Bankstown Council		
deposited 20827	deposited 20827		
2			
-			
separate dwelling h	ouse		
0			
✓ 40	Target 40		
✓ Pass	Target Pass		
→ 50	Target 50		
	73 Auburn Road Bi Canterbury-Banksts deposited 20827 2 - separate dwelling h 0 40 Pass		

Certificate Prepared by
Name / Company Name: MAM PROJECTS NSW PTY LTD
ABN (if applicable): 55643788989

roject address		Assessor details and thermal I	oads	
Project name	22007 - 73 Auburn Road, Birrong NSW	Assessor number	n/a	
Street address	73 Auburn Road Birrong 2143	Certificate number	n/a	
ocal Government Area	Canterbury-Bankstown Council	Climate zone	n/a	
Plan type and plan number	Deposited Plan 20827	Area adjusted cooling load (MJ/m².year)	n/a	
Lot no.	2	Area adjusted heating load (MJ/m².year)	n/a	
Section no.		Ceiling fan in at least one bedroom	n/a	
Project type		Ceiling fan in at least one living room or other conditioned area	n/a	
Project type	separate dwelling house	Project score		
No. of bedrooms	0	Water	1.0	
Site details		Water	✓ 40	Target 40
Site area (m²)	552	Thermal Comfort	✓ Pass	Target Pass
Roof area (m²)	373		· ·	-
Conditioned floor area (m2)	232.0	Energy	✓ 50	Target 50
Unconditioned floor area (m2)	26.0			
Total area of garden and lawn (m2)	99			

Vater Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 50 square metres of the site.	-	V	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) all showers in the development.	in	~	~
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		~	v
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		V	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		V	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	-	~	~
The applicant must configure the rainwater tank to collect rain runoff from at least 300 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	-
The applicant must connect the rainwater tank to:			
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		~	~

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features				
The dwelling must not have more than 2 storeys.			~	-
The conditioned floor area of the dwelling must not exceed 300 square metres.				
The dwelling must not contain open mezzanine area exceedir	26			
i ne dwelling must not contain open mezzanine area exceedir	ng 25 square metres.	-	~	-
The dwelling must not contain third level habitable attic room.		-	~	-
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/robelow.	of of the dwelling in accordance with the specifications listed in the	table	-	-
Construction	Additional insulation required (R-Value)	ther specifications		
floor - concrete slab on ground	nil			
external wall - cavity brick	0.50 (or 1.17 including construction)			
ceiling and roof - flat ceiling / pitched roof	ceiling: 2.95 (up), roof: foil backed blanket (75 mm) u	nventilated; medium	(solar absorptance 0.47)	5-0.70)
Note • Insulation specified in this Certificate must be install	led in accordance with Part 3.12.1.1 of the Building Code of Austral	ia.		
Note • In some climate zones, insulation should be installe	d with due consideration of condensation and associated interactio	n with adjoining build	ing materials.	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Nindows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	-	~	-
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	-	~	
The following requirements must also be satisfied in relation to each window and glazed door:		v	v
For the following glass and frame types, the certifler check can be performed by visual inspection.			
- Aluminium single clear			
- Aluminium double (air) clear			
- Timber/uPVC/fibreglass single clear			
- Timber/uPVC/fibreolass double (air) clear			

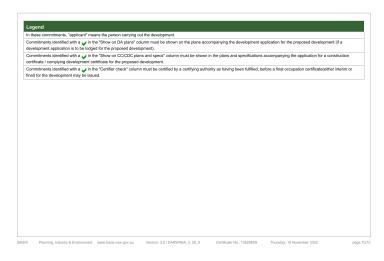
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W11	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W12	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W13	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W14	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W15	1500	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W16	1500	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W17	1500	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
East facing					
W15	1000	800	aluminium, single, clear	verandah 3000 mm, 4650 mm above base of window or glazed door	not overshadowed
W16	1000	800	aluminium, single, clear	verandah 3000 mm, 4650 mm above base of window or glazed door	not overshadowed
South facing					
W07	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W08	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W09	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W10	4650	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W20	1500	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W21	1500	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
W22	1500	450	aluminium, single, clear	eave 450 mm, 385 mm above head of window or glazed door	not overshadowed
West facing					
W01	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed
W02	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed
W03	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed
W04	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed
W05	4500	450	aluminium, single, clear	eave 450 mm, 855 mm above head of window or glazed door	not overshadowed



Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Cert
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous.	~	~	
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0		v	
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0		V	
The cooling system must provide for daylnight zoning between living areas and bedrooms.		~	
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0		~	
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0		V	
The heating system must provide for day/night zoning between living areas and bedrooms.		~	
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light		~	١,
Kitchen: individual fan, not ducted; Operation control: interlocked to light		~	١,
Laundry: natural ventilation only, or no laundry; Operation control: n/a		~	
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or igith emitting diode (LED) lamps.			
the kitchen; dedicated			Ι.

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifie check
all bathrooms/toilets; dedicated			
the laundry; dedicated		1	
all hallways; dedicated		•	•
·			
Natural lighting			
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	-	~	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 0.2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	-	V	V
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		~	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.		V	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		V	



Wall Construction Types - General Notes *Internal Walls: 90mm Timber Frame Construction *External Walls: Ground Floor - 250mm Brick Veneer Construction
*External Walls: First Floor - N/A *DP: 90mm Downpipe *Smoke Alarm All dimensions shown are indicative only. Builder to check prior to commencemnet of work, Adjust if necessary use written dimensions only do not scale off this drawing. Refer to BASIX Certificate - For all BASIX Commitments

BASIX Commitments

DA PLANS ONLY



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